



## DESIGN AND ACCESS STATEMENT

FOR A RESERVED  
MATTERS SUBMISSION

PHASES 2 & 3,  
MALTON SHOW FIELD

ISSUE 1 | MARCH 2018

**STEN**  
ARCHITECTURE

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Issue No.	Date of Issue	Notes
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01. INTRODUCTION

## This Design and Access Statement has been prepared by STEN Architecture on behalf of Linden Homes for a Reserved Matters Submission for 140 new dwellings (Phase 2 & 3) at Malton Show Field.

The statement seeks to explain the design principles for the development, based upon an understanding of what is appropriate for the site, determined through an analysis of the surrounding context.

These principles are based upon good practice as set out in National Planning and Urban Design guidance. The aims of the statement is to provide a framework to explain how the proposed development is a suitable response to the site and its setting, and demonstrate that it can be adequately accessed by prospective users.

The Design and Access Statement seeks to explain the design principles and concepts that have been applied to the development. It also aims to demonstrate how the proposed development's context has influenced the design. The Statement also explains the approach to access, movement, ecology and sustainability.

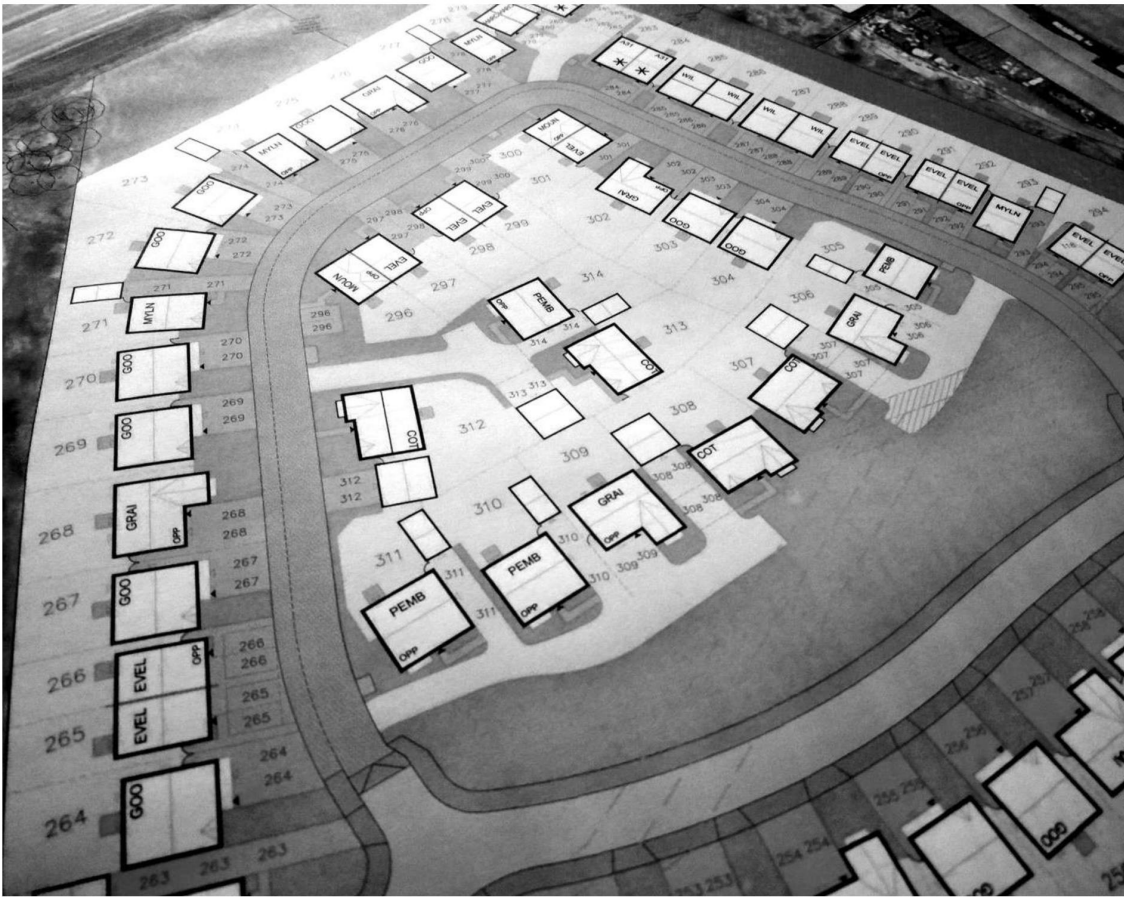
Linden Homes have collaborated with other consultants to prepare an appropriate design solution which responds to planning policy and site context whilst working to mitigate constraints and maximise the opportunities provided.

The document has the following functions and purpose:

- Identify the existing context of the site;
- To provide a description of the key issues, constraints and opportunities afforded by the site, and the evaluation that has informed and led to the proposed form of development;
- Identify the key development principles and framework which has informed the detailed design of the scheme; and
- To provide appropriate information on the development in terms of layout, scale, amount, landscaping, appearance and access.

The ethos of the design is to:

- Create a sustainable residential development that supports the existing community and respects the positive features of the site;
- Create a legible and attractive place with a sense of identity;
- Create a high quality living environment;
- Provide a well planned layout and the creation of pleasant and well designed streets and spaces.



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The application is supported by a Planning Statement, which provides a comprehensive assessment of the proposed development against relevant planning policy. This section reviews key design policy and guidance.

## 1. NATIONAL POLICY

The National Planning Policy Framework aims to make the planning system less complex and more accessible, to protect the environment and to promote sustainable growth. The underpinning thread of the NPPF is sustainable development and paragraph 56 states:

*“Good design is a key aspect of sustainable development, is indivisible from good planning, and should contribute positively to making places better for people.”*

With regard to design NPPF states in paragraph 58 that developments should: function well and add to the overall quality of the area, not just for the short term but over the lifetime of the development establish a strong sense of place, using streetscapes and buildings to create attractive and comfortable places to live, work and visit; optimise the potential of the site to accommodate development, create and sustain an appropriate mix of uses (including incorporation of green and other public space as part of developments) and support local facilities and transport networks; respond to local character and history, and reflect the identity of local surroundings and materials, while not preventing or discouraging appropriate innovation; create safe and accessible environments where crime and disorder, and the fear of crime, do not undermine quality of life or community cohesion; and are visually attractive as a result of good architecture and appropriate landscaping.

## 2. NATIONAL DESIGN GUIDANCE

There are numerous best practice documents relating to design including ‘By Design’ (DETR and CABE), The Urban Design Compendium (English Partnerships and Housing Corporation), and the companion guide to PPG3 ‘Better Places to Live By Design’ which all outline the importance of good urban design and provide advice for the design of residential areas. All of which will provide the underlying principles on which the development for this site is designed. There is general consensus over the principles of good design, although different terminology is sometimes applied. The core factors contributing to good urban design which underpin all of the above best practice include the following principles:

**CHARACTER:** somewhere with a sense of place and local distinction

**LEGIBILITY:** a place, which is easy to understand and navigate

**PERMEABILITY:** achieving a form of layout, which makes for efficient pedestrian and vehicular movement

**AN ARTICULATED TOWNSCAPE:** creating an interesting, locationally responsive townscape utilising building height, scale and massing all of which should be human in scale

**HUMAN SCALE:** the arrangement of building forms, which are easy for the human eye to read and provide a sense of scale and perspective

**SECURITY, NATURAL SURVEILLANCE:** creating places, which are properly overlooked and make effective passive and active policing

**DETAILING, RICHNESS AND INTEREST:** promoting ornamentation, rhythm, consistent vernacular, richness and intrigue to the built environment

**QUALITY WITHIN THE PUBLIC REALM:** promoting routes and spaces, which are attractive, safe and uncluttered

**CONTINUITY AND ENCLOSURE:** promoting the continuity of the street frontage and the definition of public and private space

**ADAPTABILITY, ROBUSTNESS AND SUSTAINABILITY:** the layout of the site and individual buildings should all contribute towards the minimisation of resources from the design stage

CABE - By Design

### 3. NATIONAL PLANNING POLICY GUIDANCE (NPPG)

The centrality of good design as an integral part of achieving sustainable development is reinforced from the NPPF. An emphasis is placed on good design making “the best possible use” of resources, including land, community, economic, infrastructure and other resources over the long as well as short term.

It suggests good design should:

- Ensure that development can deliver a wide range of planning objectives;
- Enhance the quality of buildings and spaces, by considering form and function, efficiency and effectiveness;
- Address the need for different uses sympathetically.

The NPPF's expectation that design will have a prominent role in plan making is reiterated by a reaffirmation that the plan making body will need to “evaluate and understand the defining characteristics of the area as part of its evidence base” as a means of informing appropriate design opportunities and policies. Once again, good design is identified as indivisible from good planning, and should be at the heart of the plan making process.

A clear attempt is being made to demystify ‘good design’ by establishing sound, clear and easy to follow design policies and processes. This provides the foundation for assessment by use of expert advice from appropriately skilled in house staff or consultants. However, it is clearly stated that design should not be the preserve of specialists and it is important to seek the views of local communities, emphasising the importance of the consultation process. It is recognised that although design is only part of the planning process it can affect a range of economic, social and environmental objectives. Planning policy and decisions, of which design is a part, are identified as needing to

support these objectives and should therefore consider matters relating to: local character (including landscape setting); safe, connected and efficient streets; a network of green spaces (including parks) and public places; crime prevention; security measures; access and inclusion; efficient use of natural resources; and cohesive and vibrant neighbourhoods.

The outcomes of good design are to be benchmarked against 7 criteria or “qualities” typical of valued places, including: functionality; supporting mixed uses and tenures; successful public spaces; adaptability and resilience; distinctiveness; attractiveness; and ease of movement. Notwithstanding that By Design: Urban Design in the Planning System (2000) and Better Places to Live By Design (2001) have been cancelled with the publication of the PPG, the central urban design principles that underpin good design and need to be considered are reiterated, including: Layout, Form, Scale, Detailing and Materials.

The promotion of good design is identified as being relevant to all stages of the planning process, from the development plan stage through to planning applications. For the latter stage a series of ‘established ways’ are identified in which good design can be achieved:

- Pre-application Discussions;
- Design and Access Statements;
- Design Review;
- Design Codes;
- Decisions on Applications;
- The Use and Implementation of Planning Conditions and Agreements.

The guidance recognises that the qualities of well designed places are similar across most developments but articulates what this can mean for housing design, town centre design, and street design and transport corridors.

### 4. HOUSING DESIGN

Themes consistent with the NPPF are in evidence with functional, attractive, sustainable and adaptable criteria being singled out as underpinning well designed housing. Affordable housing provision is also highlighted as needing to be tenure blind and not ‘banished to the least attractive part of the site’ in well designed places.

In recognition that comparatively small items can have a significant influence on the success of places, bin and bike storage, access to meter boxes, spaces for drying clothes and space for deliveries are identified as requiring particular consideration with a duty placed on local authorities to ensure that each dwelling is carefully planned.

The Manual for Streets influence is evident in the principles identified for successful streets, with an integrated approach ‘where buildings and spaces and the needs of people, not just of their vehicles, shape the area’. The rigid application of highway engineering standards are condemned as delivering a ‘sense of sprawl and formlessness and development which contradicts some of the key principles of urban design’. Imaginative and context specific design is advocated with a requirement for each street to be considered as ‘unique’, responsive to its character and location. The quality of streets, the integration of public transport, the removal of street clutter, the legibility of the place are all also highlighted as strong contributory factors in supporting social, economic and environmental goals by encouraging people to walk and use streets.



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03. EXISTING PERMISSION



### 3.0 | EXISTING PERMISSION

Outline Planning Permission for Demolition of existing buildings and structures and erection of circa 227 residential dwellings (Use Class C3) along with all associated development including drainage, landscaping, cut and fill, formation of earth bund, boundary treatments (including noise mitigation measures) provision of services and access and associated highway works (site area 11.90ha) was granted on Tue 24th Mar 2015 (14/00427/MOUTE)

The approval of the details of the layout, scale, appearance, and the landscaping of the site were Reserved Matters.

#### SUMMARY OF SCHEME

The application was made on behalf of Commercial Development Projects & Fitzwilliam Trust Corp. Although the layout of the site was a Reserved Matter, there was an indicative site layout included with the outline application. This layout shows street and landscape infrastructure and cells of development.



**DESIGN PRINCIPLES**

Within the Design and Access Statement for the outline application there was a series of design principles to help guide the detailed design.

These principles will be considered during the detailed design stage and incorporated where possible. These design principles are shown adjacent for reference together with an artist's impression of the green space to the frontage.

- Create a common vocabulary for all of the buildings, offering the opportunity for variation within a theme, but creating a harmonious overall arrangement.
- All of the buildings will be traditional in nature and informed by the local vernacular
- Roofs will be pitched and in either natural/artificial slate or clay pantile
- Walls will predominantly be in natural/artificial local stone, but variety will be created through the use of buff or red brick, render or painted masonry
- Window frames and door surrounds will be in painted timber and generally white or cream, with a proportion in pastel shades.
- Windows will have heads either of masonry arches or natural/artificial lintels, and natural/artificial stone cills.
- Front doors will be painted in a variety of colours • Front gardens will generally be bounded by hedges, railings or low brick or stone walls. Rear gardens by hedges or timber fences
- To ensure that the character of the shared areas adds to the overall high quality aspired to, generous areas of landscaping will be created within the site.
- Facing onto Pasture Lane there will be a large grassed communal area, planted with informal groups of woodland trees and shrubs.
- Main distributor roads within the site will be in tarmac, with conservation grade kerbs and good quality concrete slabs on the pavement.
- Subsidiary roads may be in block paviers or sealed gravel, and may include some 'shared-surface' areas
- The line of the roads will meander to create adjacent green edges where trees will be planted
- At two locations larger green communal spaces will run east-to-west across the site to aid legibility and give character
- In order to integrate the development into the overall landscape, and shelter the site from adjoining areas with aggressive environments, shelter belts of native woodland trees, containing a bank and topped by a timber acoustic fence, will be planted along the eastern and northern edges of the site.
- Housing along the northern and eastern edges of the site will follow the principles established in the special house studies, both to give an acceptable environment for eth residents, and to protect eth rest of the site
- Lighting of shared areas will be designed in accordance with BSEN 13201-2:2003, but be sympathetic to the overall character of the development.



### 3.0 | EXISTING PERMISSION

Phase 3 of the site was subject to a second Outline Application (ref: 16/00013/MOUT) which was approved and ensured an increase in the overall quantum of development on the site from circa 227 dwellings to 314 units.

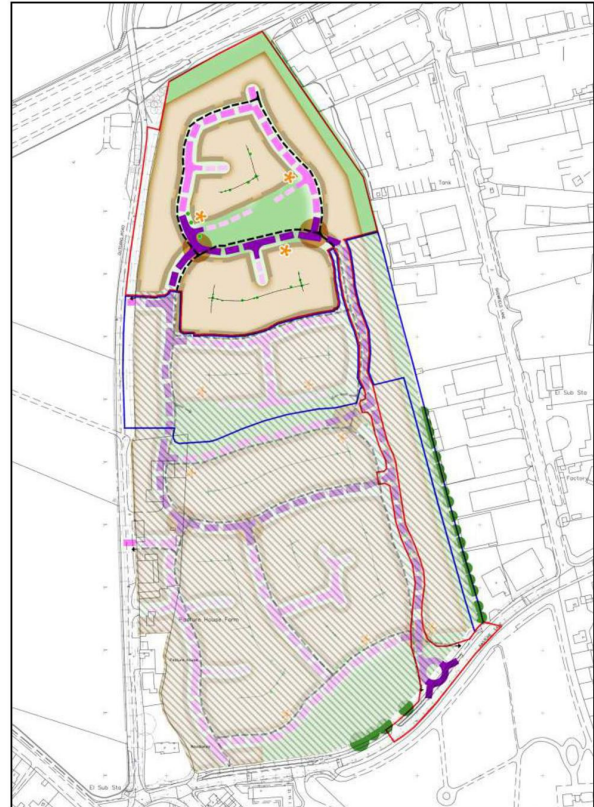
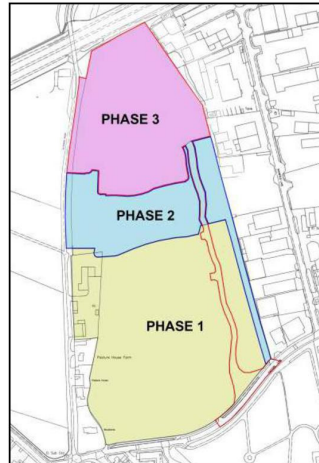
The proposals follow the principles set out in the original outline planning permission:-

- Attractive green space to add character to the development
- Highway and Pedestrian connectivity
- 10m Wide planted buffer to the Eastern boundaries and 20m buffer to the North to

screen unattractive views and disturbance from noise.

- Attractively planted trees and shrubs to housing parcels

The second Outline Application also established the boundaries for Phase 2 and 3, with Phase 1 under construction having been subject to an approved Reserved Matters Application (see next page for details).



### 3.0 | EXISTING PERMISSION

#### PLANNING HISTORY

Reserved Matters Planning Permission for Phase 1 was granted on Fri 4th Sept 2015 (15/00616/MREM) and at the time of the Reserved Matters submission for Phases 2 & 3 is under construction.

The appearance, form and scale of this Phase sets the precedents for the following phases. The overarching principles have been established at Outline stage with the finer details of layout, scale, appearance and design defined by the Reserved Matters approval.



*The photos here show some constructed dwellings from Phase 1.*





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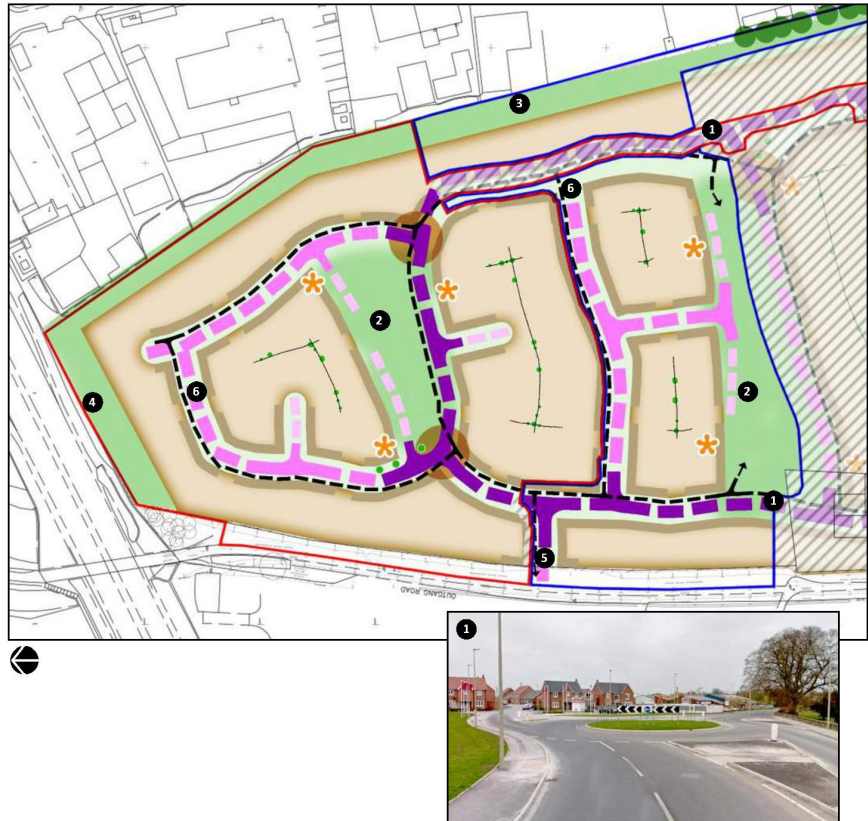
#### 4. DESIGN SOLUTION

#### 4.0 | DESIGN SOLUTION

The Outline Illustrative masterplan presented a design solution and a number of key principles for the development of upto 140 dwellings. The Design Team has produced the adjacent masterplan to clarify the important design features and ensure they are carried forward to the detailed design stage.

- 1) Access is established from Phase 1 and in turn by a new roundabout along Pasture Lane.
- 2) Area of linear open space reflect the design of a similar space in Phase 1.
- 3) 10m Landscape bund along the boundary protects residential development form adjacent industrial/commercial use.
- 4) 20m landscape bund along boundary offers protection from major highway.
- 5) Pedestrian/Emergency access.
- 6) Looped highway ensures clear and logical pedestrian and vehicle movement.

The Design Team have assessed the masterplan and its supporting principles and concluded that this is a robust and well thought-out design solution. With this in mind the Illustrative Masterplan is a good starting point for the delivery of a detailed design solution.



## 4.0 | DESIGN SOLUTION

Given that Outline planning permission has established the principle of developing the site for new homes we seek to apply to the Local Planning Authority for the detail of the following:

- Access to and within the site
- Landscaping
- Layout
- External appearance (design)
- Scale (size of the buildings).

### ACCESS

The main access to the site will be taken from Phase 1 via a new roundabout along Pasture Lane.

### LANDSCAPING

The layout provides a significant amount of landscaping to enhance its setting. The areas of landscaping will help to soften the new built development and integrate it into the surrounding landscape. Areas of green space and public footpaths run through the site.

### LAYOUT

A layout has been prepared based upon our assessment of the site, local character and the development concept. The layout of the site ensures connectivity with the wider site and integrates with the existing settlement.



#### 4.0 | DESIGN SOLUTION

The Phase 2 & 3 movement framework follows the principles of the Outline Application and is a continuation of Phase 1

Two vehicle access points with 2m footpaths to both sides brings you into the development with the main road running through the site and ensuring legibility and ease of movement.

Secondary roads and cul-de-sacs connect to this highway with shared surfaces being 6.5 m wide and will have incidental visitor parking located on them.





The layout has been designed so that there is good natural surveillance to areas of open space and roads with new dwellings looking onto these areas.

Development faces the highway network with low speed shared surfaces and private drives adjacent to open spaces.

The road typologies have been designed to accommodate the regular vehicles that use them – private, waste collection, other service vehicles, emergency, as well as cyclists and all pedestrian needs. The primary highway and secondary shared surfaces form a continuous loop to aid ease of movement.



*The principles of the Outline application are carried forward to the detailed design*

	PRIMARY HIGHWAY
	SECONDARY HIGHWAY
	TERTIARY ROUTES/PRIVATE DRIVES
	PEDESTRIAN ROUTES





4.0 | DESIGN SOLUTION

Phase 2 benefits from a linear central greenspace which falls at the heart of the wider development. Dwellings overlook this important feature with variations in roofscape and materials creating interest.

The location and orientation of the new dwellings respect and relate well to one another. They are generally positioned parallel to one another, or at 90 degrees to their neighbours. There are also intimate dwelling clusters, typically at the head of the cul-de-sacs with some buildings located to create focal ends and vista stops.

Dual aspect dwellings are proposed at corners to ensure continuity of activity and enclosure.



The principles of the Outline application are carried forward to the detailed design



STREETSCENE A-A

PROPOSED DWELLINGS FOLLOW THE DESIGN AND SCALE OF THE PHASE 1 DWELLINGS THROUGH USE OF SIMILAR MATERIALS, RIDGE AND EAVES HEIGHTS.



- 1) CENTRAL GREENSPACE
- 2) LOW SPEED PRIVATE DRIVES WITH COMPLIMENTARY PLANTING TO HELP DEFINE THE PRIVATE REALM
- 3) DUAL ASPECT DWELLINGS
- 4) CLEAR AND LEGIBLE VEHICLE/PEDESTRIAN MOVEMENT

4.0 | DESIGN SOLUTION

Phase 3 benefits from a linear area of central greenspace which is in keeping with the wider landscape infrastructure. Dwellings overlook this important feature with variations in roofscape and materials creating interest.

Inclusive access within the layout provides for ease of movement by all social groupings and seeks certain minimum standards for disabled access for such items as steps, ramps, door widths, etc. The 'approach' to the dwelling, the area of land within the curtilage of the property from the boundary of the plot up to the building itself, will have 'accessible' paths and drives wherever possible, taking into account the topography of the site. The use of various surface materials, dropped kerbs, tactile paving, parking and drop off points will be used to facilitate ease of movement by all.



The principles of the Outline application are carried forward to the detailed design



STREETSCENE A-A

PROPOSED DWELLINGS FOLLOW THE DESIGN AND SCALE OF THE PHASE 1 DWELLINGS THROUGH USE OF SIMILAR MATERIALS, RIDGE AND EAVES HEIGHTS.

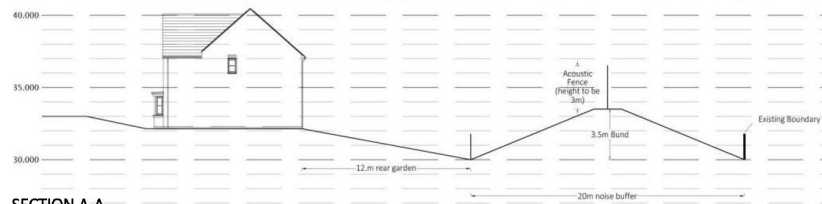


- 1) PHASE 3 GREENSPACE
- 2) LOW SPEED PRIVATE DRIVES WITH COMPLIMENTARY PLANTING TO HELP DEFINE THE PRIVATE REALM
- 3) DUAL ASPECT DWELLINGS
- 4) CLEAR AND LEGIBLE VEHICLE/PEDESTRIAN MOVEMENT

#### 4.0 | DESIGN SOLUTION

The Northern boundary is formed by a 20m landscaped bund to protect dwellings from visual and noise pollution from the adjacent major highway. Dwellings back onto this boundary which is robust and defensible.

The highway within Phase 3 is a shared surface with dwellings facing on throughout. The street is active and well overlooked with opportunity for landscaping within front gardens and incidental visitor parking.



#### SECTION A-A

SECTION THROUGH THE NORTHERN BOUNDARY SHOWS HOW DWELLINGS ARE POSITIONED WELL AWAY FROM THE EXISTING BOUNDARY AND PROTECTED BY A 20M LANDSCAPE BUND TO THE BOUNDARY OF THE SITE



The principles of the Outline application are carried forward to the detailed design



- 1) 20M LANDSCAPE BUFFER
- 2) EXISTING HIGHWAY
- 3) HIGHWAY EMBANKMENT
- 4) DWELLING BACK ONTO BOUNDARY
- 5) FORWARD FACING DWELLINGS CREATE ACTIVE AND INTERESTING STREETSCENE

4.0 | DESIGN SOLUTION

The Eastern boundary is formed by a 10m landscaped buffer and acoustic fence to mitigate sound and visual interference from the adjacent commercial/industrial development. Dwellings back onto this boundary, further increasing the distance between dwellings and industrial buildings.

There is a clear definition between the public and private domain with all properties having 'defensible spaces' to their frontages, and sides on a corner position, with a variety of hard and soft treatments to the street, some giving physical enclosure to the semi-private spaces such as railings, hedges and shrub beds.

All the properties will have individual footpath accesses to their rear gardens giving direct control over their own private domain. This will aid security and, with easy access, also enable waste and recycling provisions to be located at the rear of the properties, out of sight from the street. Where possible the dwelling's private amenity spaces back onto other gardens or are screened from public areas.



The principles of the Outline application are carried forward to the detailed design



SECTION A-A

SECTION THROUGH THE EASTERN BOUNDARY SHOWS HOW DWELLINGS ARE POSITIONED WELL AWAY FROM THE EXISTING BOUNDARY. A 10M LANDSCAPE BUND PROTECTS THE DEVELOPMENT FROM THE INDUSTRIAL AREA TO THE EAST OF THE SITE.



- 1) 10M LANDSCAPE BUND ALONG EASTERN BOUNDARY
- 2) PROPOSED HIGHWAY
- 3) PROPOSED DWELLINGS FACE ONTO HIGHWAY
- 4) EXISTING ADJACENT COMMERCIAL/INDUSTRIAL USE

4.0 | DESIGN SOLUTION



STREETSCENE A-A



STREETSCENE B-B

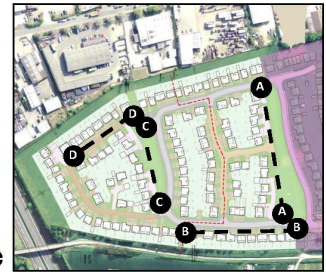


STREETSCENE C-C



STREETSCENE D-D

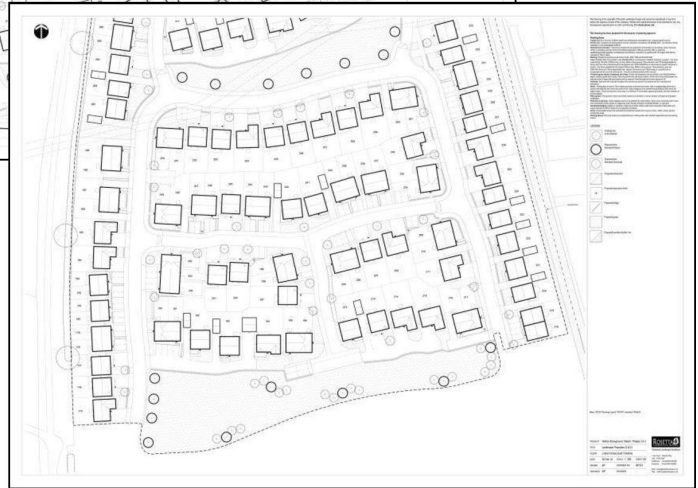
It is the design team's intention to promote local character and the proposed development reflects the positive elements of the surrounding development and the overall intentions of the original Planning Application. Character is maintained and created through careful use of materials and detailing alongside consideration of massing, grain and density. Dwellings are well laid out with positive frontage through out. Parking is alongside or in front of dwellings, this mix of car parking arrangement allows for landscaping in the street. Dwellings are primarily 2 storey with dual aspect dwellings proposed at important corners to ensure continuity of activity and a positive response to open spaces.



#### 4.0 | DESIGN SOLUTION

The intention of the landscape scheme is to enhance the form of the housing layout, provide a pleasant environment for the user whilst also creating a setting which helps to assimilate the site into the surrounding landscape.

The proposals confirms the location of open spaces with complimentary planting ensuring the spaces have both functional and ecological benefit.





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5. SUSTAINABILITY

The proposals will generate a new place that aims to meet the needs of the new community and its future generations. The proposals seek to deliver a sustainable development and a high quality of life that improves economic, social and environmental well being. This document, as an extension of the previous applications, has shown how well the site is located in terms of access to existing community facilities and services supporting the walkable neighbourhood concept. The proposals therefore have the potential to support the existing community facilities and local businesses through an increased population living nearby.

The Government's guidance on sustainable development is contained in the National Planning Policy Framework.

The following statement addresses the 5 key headings below:

- Support and help revitalise the local economy;
- Reinforce neighbourhoods and communities;
- Provide a range of transport options and inclusive access;
- Protect and enhance the natural environment and resources; and
- Integrate high quality design and construction.

#### **SUPPORT AND HELP REVITALISE THE LOCAL ECONOMY**

This application is proposed in a sustainable location with good access. The site is also located within walking distance of have services such as shops, pubs, post office and schools. The site provides an opportunity for residential development within easy reach of a range of education, employment, retail and leisure

opportunities. The proposed site will provide high quality residential accommodation and will contribute towards the overall amenity and sustainability of the area. Employment will also be created during the construction process.

#### **REINFORCE NEIGHBOURHOODS AND COMMUNITIES**

The development of this residential scheme will contribute towards an increase in the number of people living in this area. Neighbourhoods can be reinforced by movement networks, the mix of uses and tenures, the amount and position of open space and local vernacular building materials and styles.

The health, wellbeing and quality of life of those who will be using an area will be influenced by its cohesion.

The vitality of neighbourhoods is enhanced by creating variety and choice within the development and should cater for a range of demographic groups especially families.

The layout of the proposed development will increase natural surveillance both within the application site and of the surrounding area and footpaths. An increase in activity in the area will also promote a safer, crime free environment.

#### **PROVIDE A RANGE OF TRANSPORT OPTIONS AND INCLUSIVE ACCESS**

The road structure has been designed to include internal loops to create good permeability for both pedestrian, cyclists and vehicle movements within the development. Inclusive access within the layout will provide for ease of movement by all social groupings and will meet the standards for disabled access for such items as steps, ramps, door widths, etc.

The 'approach' to the dwelling, the area of land within the curtilage of the property from the boundary of the plot up to the building itself, will have 'accessible' paths and drives, taking into account the topography of the site. The use of various surface materials, dropped kerbs, tactile paving, parking and drop off points will be used to facilitate ease of movement by all.

#### **PROTECT AND ENHANCE THE NATURAL ENVIRONMENT AND RESOURCES**

The site has some hedges and a significant number of trees through the site and on its boundary. The majority are proposed to be retained and where removed mitigation measures will be enforced. The proposals will provide opportunities for a mix of biodiversity within the garden areas of the new dwellings.

The garden areas will be lawned and surrounded by secure boundary treatments. The mix of plant species grown within gardens will provide opportunities for small wildlife and garden birds to benefit from the development to a much greater extent than that which currently exists.



**INTEGRATE HIGH QUALITY DESIGN AND CONSTRUCTION**

There are opportunities to reduce the environmental footprint of the development by incorporating sustainable design and construction techniques. The following list are a set of principles that could be explored by the developer.

- Use renewable / sustainable sources and recycled aggregates in construction.
- Provide opportunities and space for home based working and office space within new homes;
- The use of efficient appliances, heating systems, energy controls and management; improved insulation and glazing;
- Project wide preference for local labour, materials, goods and services where possible.
- Enhance existing green spaces in the surrounding area.
- Provide cycle parking and associated facilities within the development.
- Waste minimisation during construction process and the promotion of future waste reduction.
- The use of permeable surfaces and paving as part of the sustainable urban drainage strategy
- Investigate into the potential use of grey water / rainwater harvesting systems to reduce water consumption.
- Dwellings will have energy efficient condensing boilers installed together with toilets and showers that have water saving features.
- High levels of insulation will be provided as required by current building regulations in order to make the buildings sustainable as well as cost effective.





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6. SUMMARY

## 6.0 | SUMMARY

The Design team have proposed a sustainable and high quality living environment which makes efficient use of land in terms of housing numbers and density.

The proposal is a well planned sustainable solution with dwellings which will meet high architectural standards alongside the creation of pleasant and well planned streets.

Below is a summary of the scheme proposals:

- 140 new dwellings
- Integration with Phase 1 development
- Landscape led approach to the design
- Positive frontage throughout
- Clear and defined non-vehicle routes
- Appropriate edge responses to the development

